

**THE VILLAGES OF PIEDMONT
HOMEOWNERS ASSOCIATION
DESIGN and MAINTENANCE
STANDARDS**

Revised and Adopted May 2020

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EXHIBIT A 33

These Design Standards shall enhance and further develop the mutually beneficial covenants and restrictions established in the Declaration of Villages of Piedmont Homeowners Association. The specific objectives of these Design Standards are:

1. To increase homeowner's awareness and understanding of the Covenants from which authority is granted for creating rules and use restrictions.
2. To define and illustrate design standards, which will assist the Covenants Committee, the Association staff, and homeowners to develop exterior alterations and improvements, which are in harmony with the existing home, the immediate neighborhood and the community as a whole.
3. To assist homeowners in preparing a complete and acceptable application to the Covenants Committee.
4. To relate exterior improvements to Villages of Piedmont open space.

AUTHORITY

The authority and responsibility for maintaining the quality and design is found in the Villages of Piedmont Declaration, which is a part of the deed to every lot in Villages of Piedmont. The intent of Covenant enforcement is to assure homeowners that the standards of design quality will be maintained consistently throughout the community. This in turn, protects property values and enhances the overall community environment. The specific language follows.

Article VI, Section 6.1 of the Declaration explicitly states that all exterior alterations require the approval of the Covenants Committee.

Section 6.1 Development and Use of the Property. "No building, fence, wall, or other structure or improvement shall be commenced, erected or maintained upon the Property, nor shall any exterior addition, or alteration therein be made (including change in color) until the plans and specifications showing the nature, kind, shape, height, materials, and location of the same shall have been submitted to and approved in writing as to harmony of external design and location in relation to surrounding structures and topography by the Covenants Committee. The terms and conditions of The Villages of Piedmont Design Guidelines & Development Standards (the "Design Guidelines"), as may be modified from time to time as provided herein, are incorporated herein by reference. During the Development Period, the Declarant may amend the Design Guidelines. After the Development Period a Majority Vote of the Board of Directors may amend the Design Guidelines and such amendments shall be effective from the date of the Board of Director's vote.

These paragraphs specifically state that the Covenants Committee must approve any change, permanent or temporary, to the exterior appearance of one's property. Further, once a plan is approved, it must be specifically followed or a modification must be approved in accordance with current design standards.

It is important to understand that Covenants Committee approval is not limited only to major alterations, such as adding a room, a garage, a fence or deck, but includes such items as changes in exterior color, changes to landscaping, modifications to materials, the installation of a storm door, etc. Approval is also required when an existing item is removed.

Each application is reviewed on an individual basis. There are no "automatic" or administrative approvals, unless provided for specifically in these design standards. For example, a homeowner who wishes to construct a deck identical to one already approved by the Covenants Committee is still required to submit an application, which must be approved prior to the state of construction.

NEW CONSTRUCTION, REPLACEMENTS AND IMPROVEMENTS

These Design Standards apply not only to improvements contemplated by a homeowner to an existing home or lot; but also to an unimproved or vacant lot owned by an owner or entity, other than the Developer or Declarant, or a builder under contract to the Developer or Declarant. The Developer, Declarant and Builders under contract to the Developer or Declarant are exempt; however no improvements made by these entities may be in conflict with these Design standards.

New construction or replacement of homes or portions thereof must be of a comparable size, style and architecture as the adjacent homes; must use comparable construction materials as the adjacent homes; and must meet current Villages of Piedmont Homeowners Association, Inc. Design Standards.

COVENANTS COMMITTEE OVERALL REVIEW CRITERIA

The Covenants Committee evaluates all submissions on the individual merits of the application; including the consideration of the characteristics of the housing type and the individual site; since what may be an acceptable design in one specific instance may not be for another.

Design decisions made by the Covenants Committee in reviewing applications are not based on any individual's personal opinion or taste. Judgments of acceptable design are based on the following criteria, which represent in more specific terms the general standards of the protective Covenants:

- Relation to Villages of Piedmont Community Open Space -- Fencing, in particular, can have a damaging effect on open space. Other factors, such as removal of trees, disruption of the natural topography and changes in rate or direction of storm water run-off, also adversely affect Villages of Piedmont's open space.
- Validity of Concept -- The basic idea must be sound and appropriate to its surroundings.
- Design Compatibility -- The proposed improvements must be compatible with the architectural characteristics of the applicant's house, adjoining houses, and the neighborhood setting. Compatibility is defined as similarity in architectural style, quality of workmanship, use of like or similar building materials, color and construction details.
- Location and Impact on Neighbors -- The proposed alteration should relate favorably to the landscape, the existing structure and the neighborhood. The primary concerns are access, view, sunlight, ventilation, and drainage. For example, fences may obstruct views, breezes, airflow or access to neighboring property; decks or larger additions may cause unwanted shadows on adjacent patios or infringe on a neighbor's privacy and view. As another example, an inappropriate "clutter" of play equipment, or an "ill-planned" landscape scheme may also

affect existing neighbors.

- Scale-- The size (in three dimensions) of the proposed alteration should relate well to adjacent structures and its surroundings. For example, a large addition to a small house may be inappropriate.
- Color -- Color may be used to soften or intensify visual impact. Parts of an addition that is similar in design to an existing house, such as roofs and trim should match in color and composition.
- Materials -- Continuity is established by use of the same or compatible materials as were used on the original house. The options may be limited somewhat by the design and materials of the original house. For instance, horizontal siding on the original house should be retained in an addition. On the other hand, an addition with horizontal siding may or may not be compatible with a brick house.
- Workmanship -- Workmanship is another standard, which is applied to all exterior alterations. The quality of work should be equal to, or better than, that of the surrounding area. Poor practices, besides causing the owner problems, can be visually objectionable. The Villages of Piedmont Homeowners Association, Inc. assumes no responsibility for the safety or structural validity of new construction by virtue of an approved design. It is the responsibility of each applicant to obtain a Building Permit where required and comply with County, State and Federal codes and regulations where required.
- Timing -- Projects, which remain uncompleted for long periods of time, are visually objectionable and can be a nuisance and safety hazard for neighbors and the community. All applications must include an estimated completion date. If such time period is considered unreasonable; the Covenants Committee may disapprove the application. Typically, projects must be commenced within six months of an approval; and completed within one year.

AMENDMENTS TO THE DESIGN STANDARDS

These Design Standards may be reviewed and amended from time to time. It is anticipated that changes will involve clarification rather than substantive modification of the existing Design Standards. They may also be amended to reflect changed conditions or technology. Amendment procedures will involve a public hearing of the members and shall be adopted, as were the original Design Standards by the Board of Directors.

APPLICATIONS

Applications for alteration or improvements must be submitted on the approved Villages of Piedmont Homeowners Association, Inc. form. The application form requires information, which will assist the Covenants Committee in reviewing plans for your proposed alteration or improvement. Specific information is detailed below. Action on applications submitted without the required information will be delayed until all information is provided. The information required includes:

- DESCRIPTION -- The application form requires a complete description of the alteration or improvement. This includes a complete listing of materials to be used; overall dimensions -- height, length, width, height above ground level, etc.; colors of the existing house, trim and roof colors; and colors of the proposed alteration or improvement.

- SITE PLAN/PLAT -- A site plan is a scaled drawing of your lot (plat) showing dimensions of the property, adjacent properties if applicable, and all existing improvements on your lot. You must draw your proposed improvement of this plat and provide it with your application. Contour lines may be required where drainage is a consideration and more complex applications may require larger scale (10 to 20 feet to the inch scale) engagements of the site plan of County approved development or site plans.
- DRAWINGS/PHOTOGRAPHS -- Complete scaled drawings showing all dimensions, elevations and details of the proposed improvement or alteration are required. Drawings should show the relation of the improvement or alteration to the existing home. Drawings, which are unclear, slow the process, and may be returned to the applicant for clarification. Photographs, catalogue clippings or manufacturer's "cut sheets" are acceptable for items such as lighting fixtures, storm doors, and other standard items.
- SIGNATURES -- The applicant is required to sign the application form. In addition, the signatures of all adjoining or affected property owners are required on all applications. The signatures do not constitute approval or disapproval of the proposed project; rather they indicate that the adjoining property owners are aware that alteration or improvement is contemplated. Applications received without signatures will not be reviewed.
- CONSTRUCTION SCHEDULE - Applications must contain the proposed construction schedule indicating both a commencement and completion date. All alterations or improvements must be commenced within 6 months and completed within 12 months of the approval.

REVIEW PROCEDURES

All applications should either be mailed or delivered to Villages of Piedmont Homeowners Association (located in the Club House):

Villages of Piedmont Homeowners Association
c/o Property Management People, Inc.
16080 Market Ridge Boulevard
Haymarket, Virginia 20169

Villages of Piedmont Homeowners Association representatives prior to the Covenants Committee review will evaluate each application for complete information. After Covenants Committee review and action, a letter of Covenants Committee decision will be mailed to each applicant at the address provided on the application. Letters of approval will be sent by first class mail; while letters of denial or those with specific approval conditions will be sent by certified mail. Letters of denial will reference specific reasons for the denial and are always subject to appeal.

APPEALS PROCEDURE

An appeals procedure exists for those affected by a Covenants Committee decision, who believe that:

- Proper procedures were not followed during the administration and review process.

- The applicant and any other affected homeowner attending the meeting were not given a fair hearing.
- The Covenants Committee was arbitrary, or did not have a rational basis for a decision.

To initiate the appeal procedure, the applicant must submit a written request for an appeal within 15 days of receiving the Covenants Committee decision. Other affected homeowners or neighbors must submit written notice within fifteen (15) days after the Covenants Committee rendered its decision. The written request must be delivered to The Villages of Piedmont, 16080 Market Ridge Boulevard, Haymarket, VA 20169. The Board of Directors will review those cases and shall conduct a hearing.

DESIGN STANDARDS

AIR CONDITIONERS - Air conditioning units require approval. Air conditioning units extending from windows or protruding from the existing structure are prohibited. Additional exterior air conditioning units which are typically installed on a level pad on the ground, or the relocation of existing units may be considered so long as they are placed near existing units and do not have an adverse audible or visible impact on adjoining lots or open spaces.

ANIMALS – Dogs, cats and other household pets may be kept on the property provided that such household pets are subject to Prince William County regulations and Rules and Regulations established by the Board of Directors and further provided that said pets are not raised or bred for any commercial purposes. Prince William County noise ordinance applies in all cases, please see county website for specifics.

ANTENNAS - Antennas and satellite dishes require notification. Antennas and satellite dishes of a diameter of one meter or less are permitted on the property; however, they must be installed in the least obtrusive and least visible location on the lot. Satellite dishes in excess of one meter are not permitted. To comply with the Federal Telecommunications Act of 1996, prior approval of the Covenants Committee is not required for the installation of a satellite dish or antenna less than one meter in diameter. However, prior notice of such an installation or planned installation is requested. Prior notice will allow the Covenants Committee to assist the homeowner in selecting the best possible location for the equipment, while complying with the requirement for the least visible and least obtrusive location.

More specifically:

Ground Mount: Should be located on a rear lot location. Where front or side yard locations are necessary all equipment should be installed near other utility equipment; or among shrubbery.

Roof Mount: Should be located on the rear of the roof, below any ridge, pole or peak. If a front roof mount is necessary, all equipment should be installed to one side of the roof, rather than in the center; and equipment may be required to be painted to match the roof (so long as warranties are not voided).

Structure Mount: Should be located such that the equipment is adjacent to a chimney or other structure on the home; if on a deck, the equipment should be installed off to one side of the deck or adjacent to the house, if possible. Screening may be required.

ARBORS -Arbors require approval. An arbor is a decorative bar supported by vertical shafts for the purpose of supporting vines or hanging plants. It shall not exceed 8' in height from ground or deck floor level, and shall not be enclosed to create a solid barrier. If attached to a deck, patio or fence the material and color must be the same. Arbors are restricted to rear yards, unless required by County ordinance as a connecting link.

ATTIC VENTILATORS - Attic ventilators require approval. Attic ventilators may be considered when painted to match the color of the roof (if roof mounted) or the color of the house siding or trim (if mounted on a gable end). Ventilators must be mounted on the least visible side of the peak so as to minimize their visibility from public areas and adjoining lots.

AWNINGS - Awnings require approval. In general, only retractable awnings will be considered on a case-by-case basis if demonstrated to be clearly compatible with the architectural design and qualities of the home.

If approved, awnings must meet the following criteria:

Located in the rear yard as part of a decking or patio design.

Solid colors, which are compatible with the color scheme of the house, should be used, rather than stripes or patterns. (Color scheme of the home must be attached to the application.)

Consistent with the visual scale of the house to which attached.

Structural supports for canvas awning (or similar material) should be painted to match the trim or dominate color of the house. If awnings are removed for winter storage, frames should be secured or removed to the extent possible.

BARBECUE GRILLS - Permanent grills require approval. Temporary grills do not require approval. Permanent grills, barbecue pits, and smokers will be considered on a case by-case basis. Charcoal grills are not permitted on Town House decks and must be used in drive-ways. Construction design, scale and materials of permanent grill areas must complement the existing house and lot. Temporary grills must be stored out of view from the front of the home when not in use. All grills must be used in the rear of the home and must be covered when not in use.

CHIMNEYS AND METAL FLUES - Chimneys and flues require approval. Full chimneys should be constructed of brick stone or such other material as Declarant or the Covenants Committee, as appropriate, may select in its sole discretion to match or complement the existing house. Direct vent gas fireplaces may be permitted so long as they are constructed of materials to match the existing house and designed as an architectural feature of the house. Metal flues and chimney caps must be painted and any vent protruding through the roof must be painted the same color as the roof.

CLOTHESLINES - Clotheslines or similar apparatus for the exterior drying of clothes or bedding are prohibited.

COMMON AREAS - Common Areas are the responsibility of the Association. Individual

property owners shall not make alterations/improvements to any Common Area, including open space, natural areas, any activity area, tot lot, streets, parking lots, lighting, mailboxes or any other Common Area elements.

COMPOST BINS - Compost bins require approval. Bins must be located to the rear of the property and must be fully screened from the street, open space and adjoining and affected neighbors. All active compost must be treated at all times to prevent odors from escaping. Failure to maintain a satisfactory compost bin and/or the point at which the compost becomes a public nuisance shall indicate an abandonment of the compost pile and violation of these Design Standards.

DECKS - Decks require approval. Decks provide for an extension of a home's living space. They may be designed to include bench seating areas, overhead timbers and trellises for shade and hanging plants, planter areas, and hot tubs with appropriate scale privacy screening. When deck design schemes include other exterior changes, such as fencing, lights, plantings, etc., other appropriate sections of the Design Standards should be consulted prior to application. All decks must meet Prince William County building codes.

- Location - Decks shall generally be located in rear yards and shall not extend past the side plane of the home. Side yard locations may be considered when lot size or topography prohibits rear yard locations. In all cases, the view of adjacent and affected owners will be considered.
- Size and Scale - Deck size should be appropriate to the scale of the home as sited on the lot and shall not occupy more than fifty percent of the rear yard. Decks must meet Prince William County minimum setback specifications and should not be constructed across Building Restriction Lines (BRL) shown on individual site plans (plats).
- Decks on interior townhomes must be set in one foot on each side and set back a minimum of eight feet from the rear property line (or according to the Prince William County setback requirements.). Decks on end unit townhomes must be set in one foot on the side, which abuts an interior unit and may extend to the outside corner. This separation allows for ease of maintenance and provides a measure of privacy.
- Under Deck Storage - Elevated decks include an under deck area which has a visual impact on adjacent and nearby areas. When using an under deck area for informal storage, the visual impact should be kept in mind. Storage must be maintained so as to present a neat, uncluttered appearance. Lattice or similar screening or landscaping will be required to screen objectionable views.
- Material and Color- Deck materials shall be approved Prince William County building materials (wood, composite, or wood composite). **Untreated decks are not acceptable. See Deck Material and Color on page 11.**
- Walking surfaces of the deck may be left natural pressure treated wood if desired. Decks will be painted within three (3) months of completion of the deck (weather permitting).
- Railing and Post Details - Deck railings should be constructed as 'Board Frame' where as a frame is constructed and boards are added. Railings of decks must be the Windowpane, Traditional, or Chippendale design as shown in Exhibit "A". The maximum permissible railing height is 42". All other railing designs are prohibited (e.g.) Starburst and Sunburst

designs). Wood support posts must be a minimum of 6" in diameter.

- Stairs - When the use of stairs is desired, the Covenants Committee encourages the practice of interrupting the flight of stairs with a landing for both safety and appearance. Stairs, as well as tread and riser dimensions must meet Prince William County building codes and must be the same material as the deck. Stairs may not extend past the side plane of the deck.
- Drainage - If changes in grade or other conditions, which will affect drainage are anticipated, they must be indicated on the application, with drainage areas to be shown on the site plan. Approval will be denied if adjoining properties are adversely affected by changes in drainage. Serious consideration should be given in making ground level surfaces of porous material or to provide mulched beds to offset additional impervious deck or patio area.

Decks Material and Color

All decks must meet Prince William County building codes and require written approval from the Villages of Piedmont Homeowners Association prior to beginning construction. Additionally, a building permit must be obtained from Prince William County prior to construction. All applications shall specify the materials to be used in construction of a deck and shall be wood, composite, or wood composite. **No Untreated Decks are Acceptable.**

The approved white paint for decking is as follows:

Olympic Solid Color Stains P/N Outside White

Sherwin Williams DeckScapes premium deck finishing P/N SW7005 Pure White,

Behr Premium Wood Coatings P/N 5011/211 White.

Paint products may be purchased at Lowes, Homes Depot, and Sherman Williams

Items that require to be painted white are listed below:

Wood Balusters/Spindles

Top Rail

Bottom Rail

Rim Joist

Support Post

Rail Post

Stringer

Overhead Timbers

Trellis

Lattice

Beam

Items that do not require to be painted:

Tread

Ledger

Riser

Joist

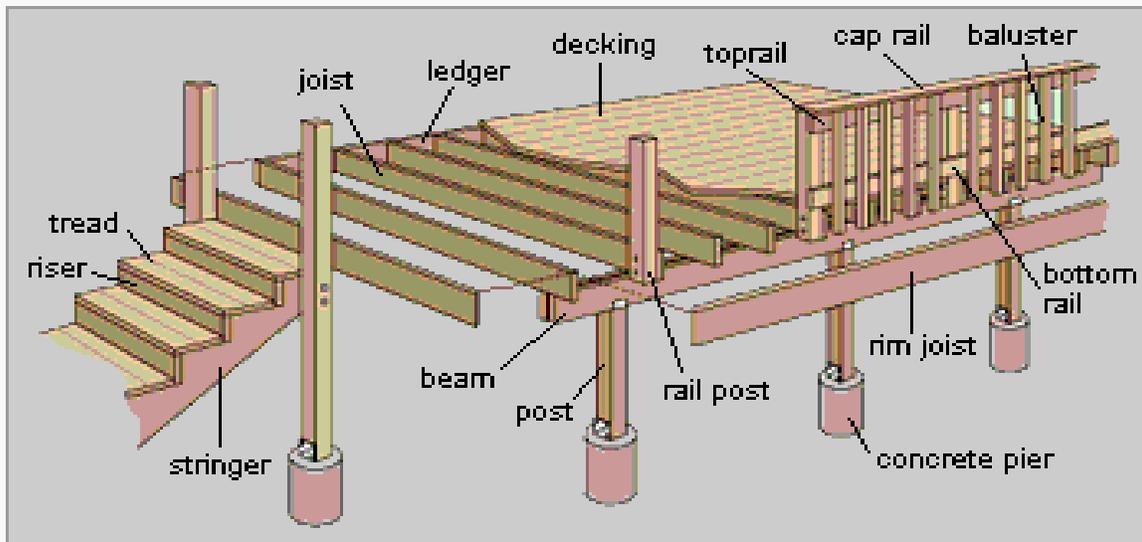
Decking

Cap Rail

Bench Seats

When Wrought Iron or Aluminum Balusters/Spindles are used, they must be painted black or white. For consistency, must mirror approved fence styles.

Please reference the Deck Diagram for location of items that require treatment.



DOGHOUSE & PET STRUCTURES - Doghouses and pet structures require approval. Doghouses must be located in the rear of the property and must be screened from view of the street and adjoining lots. Pre-manufactured doghouses may be permitted if of an appropriate style and appropriately placed and screened. Applicant-constructed dog houses should complement the existing home in color and material and should not exceed 12 square feet or be higher than 4 feet above ground level. Doghouse areas are to be kept free of animal waste and debris. *Dog runs are prohibited.*

Dogs must be on a leash at all times when off the owner's property. Dog owners are responsible for cleaning up after their pet on common areas, other lots and their own lot. Dogs must be kept quiet so that they do not create a nuisance for adjoining lot owners.

DOORS-EXTERIOR - Exterior doors require approval. Only sliding glass doors that include mullion grid patterns to compliment the home will be permitted. Doggie doors require approval.

Single Family Homes - Front doors on single-family homes must be of a style and color compatible and complementary with the style of the home and the existing colors on the applicant's home. New hardware should be compatible and complement that installed by the builder.

Town homes - Front doors on town homes should be of the style originally installed by the builder. The color of the front doors should be compatible and complementary with the color of the applicant's home and on adjacent homes. New hardware should be compatible with and complement that installed by the builder.

Door Front Color- Front Door Color must be painted in the approved colors listing below. McCormick is the manufacturer of the colors and you can view the color card at this website. <http://www.mccormickpaints.com/>

Old Colonial Red #225
Aspiration Blue #??
Black #200
Foxhall Green #202
Georgetown Green #220
Cobblestone Grey #215

Exterior Trim- Exterior Trim must be painted in the approved colors listing below. McCormick is the manufacturer of the colors and you can view the color card at this website.

<http://www.mccormickpaints.com/>

Colonial White #118
Amber White #101

DOORS-STORM - Single Family and Town Homes - Storm doors require approval. Storm doors should be full view, without significant decoration, ornamentation or edging. (For example, half view and cross buck storm doors with scalloping are not to be permitted.) Storm doors should match the color of the entrance door or the trim around the entrance door. Exceptions may be made depending upon the style of the front entrance and facade.

DRIVEWAYS - Driveways require approval. Extensions, modifications or additions to driveways will be considered only if there is no adverse aesthetic or drainage impact on adjoining lots. Driveway modifications must be constructed of the same material as found in the existing driveway. Driveway extensions must be of a size and scale, which will complement the property, rather than become a focal point. Extended driveways may not be used for parking inoperable, commercial, recreational or unused vehicles.

ELECTRONIC INSECT TRAPS - Electronic insect traps do not require approval. Electronic insect traps will be regulated based on the same criteria as for exterior lighting. In addition, no device shall be installed or maintained in such a way as to cause discomfort to adjacent owners from noise, and may only be operated during those times when the immediate area protected by the trap is occupied by the owner or guests.

EXTERIOR DECORATIVE OBJECTS - Exterior decorative objects exceeding 30 inches in height and 18 inches in width or depth, including natural and man-made objects, require approval. Decorative objects will be considered based on their size, color, scale, appropriateness with the surrounding area, and their visual impact of adjoining lots and open space. Exterior decorative objects include such items as sculptures, fountains, small decorative pools, stumps, driftwood, stones, rocks, free standing poles of any type, and items attached to approved structures. Lawn ornaments such as fountains, sculptures, bird baths, decorative balls, etc. are discouraged; however depending upon their size; ornaments may be allowed in a rear yard within the context of an approved landscape design.

EXTERIOR SURFACES - All alterations require approval. Exterior materials and colors have been selected and approved to present a uniform architectural theme for the community. Any replacement roofing, siding, trim, etc., must match the existing. In the event a material or color is not available or if there is a problem with any material, the Covenants Committee may approve a similar alternate material and or color. Generally, painted surfaces may only be painted; stained surfaces may only be stained; and unstained surfaces (brick, siding, etc.) may only be replaced with like material and may only be left unpainted or unstained.

FENCES - Fences require approval. Proper fencing can have a unifying effect upon a neighborhood. Improper fencing can detract from the appearance of a neighborhood. In all cases, fencing shall be constructed with the "finished" side facing out. The location design, height, material, detailing and color of fencing shall match that of the home and approved standard. Chain link fences will not be approved under any circumstances. Chain link fencing material MAY NOT be used for any purpose on any lot.

The bottoms of picket fences may either step with or be parallel to the ground in the case of steep slopes, with 6" of maximum space between the bottom pickets and the finish grade.

Landscaping should be placed in front of the fencing so that the front elevation is "softened" by the landscaping.

Detached Homes

Materials, Colors, and Height - Fences must be constructed of natural wood, wood composite, wrought iron, or aluminum. Fences made of wood or wood composite must be painted or stained white and properly maintained. Wrought iron or aluminum fencing must be painted black and properly maintained. All rear-yard fencing must be at least 48 inches in height with a maximum of 60 inches in height.

Fencing Styles- Fencing on all single-family homes requires either 2"x2" white picket fencing (pickets may not scallop or dip), "three board" wood/synthetic or a classic black wrought iron/aluminum fence. *Exception:* Gates are permitted to have such variances as scalloping or dipping. All fence posts shall be 6"x 6" topped with smooth flat caps or other design features.

Location - Fencing must be attached to the rear corner of the home and may extend to the side yard and then proceed back to the rear property lines, making sure no easements or save areas are violated. Consideration for variances to the rear yard location requirement may be given because of the topography, citing of the applicant's house in relation to adjacent houses, rear yard size, to conceal any utilities, and the desire to enclose builder-installed side entry door areas. **In no case, when such a variance is granted, may a fence be installed within 12' of any front corner of a structure.** Consideration for these variances to the rear yard location will be on a case-by-case basis. Exception to this requirement is only in the case where a fence may be located closer to the front corner when required by County ordinance as a connecting link.

Hardware - All hardware should be black polyester powder coated over hot dipped galvanized metal or shall and will be reviewed and approved to be equal by the Covenants Committee. All fasteners are to be galvanized or stainless steel. Chicken wire, chain link and chain link material will not be permitted.

Privacy Toppers - Will not be permitted among single-family detached homes.

Fences Around a Swimming Pool - When fencing *immediately* around a swimming pool and related pool equipment for safety, a non-climbable Classic style black wrought iron or aluminum fence is required. Fencing of this type must be simple in design with no excess ornamentation and must be a minimum of 4' in height and a maximum of 5' in height. Such fencing must meet Prince William County Pool Safety Codes, which are subject to change.

Attached

Materials, Colors and Height- The fence style and height shall match that installed by each builder, either board on board, or solid board and shall be consistent within each section. The height of the fence should be compatible with any partial fencing installed by the builder, but no taller than 72". All fencing in townhome sections shall be left natural in color and protected by a transparent stain. Posts are to be 6" x 6" topped with smooth flat caps or other design features.

Fence Location - Fencing shall be restricted to rear yard locations. End unit townhomes may request a variance for a side yard fence location. When such a variance is granted, in no case may a fence be installed within 12' of any front corner of the house.

Decorative Toppers - On a case-by-case basis, semi-transparent or transparent toppers (decorative lattice, louvers, board on board style) may be considered, but must meet the height requirement. A preservative should be used to prevent objectionable weathering or "graying" on fences and toppers.

Front yard fencing is prohibited. Landscaping (hedging) and masonry front yard edging (brick or stone to compliment the house) will be considered on a case-by-case basis.

FIREWOOD - Firewood does not require approval. Firewood shall be kept neatly stacked and shall be located in the rear of the property in such a manner as to avoid adverse visual impacts for adjoining properties or open space. The use of brightly colored tarps will not be permitted. Where such a cover is required the color shall be a muted brown or tan and shall be securely affixed to the woodpile. Firewood may not be stored on community open space.

FLAGPOLES - Temporary flagpoles do not require approval. Permanent, freestanding flagpoles are prohibited. Temporary flagpole staffs cannot exceed six feet in length and must be attached at an incline to the house or dwelling unit.

FOUNTAIN/SCULPTURES - Fountain/Sculptures are required to be integrated with a landscaping plan for approval. Lawn ornaments such as fountains, sculptures, bird baths, decorative balls, etc. are discouraged; however depending upon their size, ornaments may be allowed in a rear yard.

FLUES and VENTS - Flues and vents require approval. Flues and vents protruding through a roofline must be painted to match the roof color; and they must be located to the rear of the ridgepole. No flues or vents may be visible on any exterior wall of the house.

GARAGES - See Room Additions/Garages/Sunrooms.

GARAGE DOORS - Garage doors require approval. Garage doors must remain consistent with the style and color installed by the builder. Garage doors should be left in a fully closed

position when not in use. Using a garage as an obvious pet confinement area (leaving garage doors partially open with or without screening) will not be permitted.

GAZEBOS - Gazebos require approval.

Size and Scale - Gazebos should be appropriate to the size of the home as sited on the lot. They must meet Prince William County minimum setback requirements and should not be constructed across Building Restriction Lines (BRL) shown on the individual plat or site plan.

Location and Style - Gazebos shall be located in the rear yard. Particular attention will be given so that views from adjoining and adjacent lots are not adversely impacted. [The Covenants Committee will determine adjoining and adjacent lots at the time of application.]

Materials and Color - Gazebos shall be constructed of wood and must be painted to match the trim of the home or in white. When incorporated with a deck, the gazebo must match the color of the deck railing. Roof material shall be the same as that of the existing home. Screen material must be a dark nylon or aluminum type.

PERMANENTLY INSTALLED GENERATORS

Only one (1) permanently installed generator is allowed per lot. Backup generators require approval by the covenants committee. The permissible noise output should adhere to the Prince William County Code of Ordinances. The noise output of an operating generator may blend with the ambient noise level. In order to minimize this, location must be considered and approvals will be based on lot size and the impact on neighboring lots. Again, the covenants committee reserves the right to approve the location of the generator on a case by case basis.

Location –Typically, the location of most generators are installed near the gas line which is located by the A/C and heat pump. To accommodate the different home layouts and townhomes the location of the generators will be chosen by the homeowner. Generators must be located in such a manner to reduce noise for neighbors while the generator is in operation. The location of the generator should also consider the aesthetic impact on their neighbors. The homeowner must also identify the location of the generator on the Platt.

- Size and Scale. The size of the generator must be in scale with the home and lot.
- Materials and Color. The generator must be earthen tone color or match the home owner's exterior house color.
- In ground and above ground fuel tanks. Are not permitted.
- Fuel used. Fueled only by natural gas. Other fuel types will be approved only by a case by case basis.
- Required Documentation. Home owners must submit the following documentation along with the **Design Review Application**:
 - A statement demonstrating the need for a permanently installed generator.
 - Platt showing the dimensions and the planned location of the unit. The drawing shall show the relationship between the selected location and sleeping rooms of neighboring dwellings.
 - A copy of the Prince William County permit.
 - The name, license, and phone number of contractors.
 - Documentation showing that the noise output of the permissible sound levels dictated by

the Prince William County Code will not exceed those limits (see below).

-Applications should also include the manufacturer's specifications to include advertised noise levels and testing times.

Prince William County, Virginia - Code of Ordinances

Link to Prince William County Code of Ordinances:

https://www.municode.com/library/va/prince_william_county/codes/code_of_ordinances?nodeId=14114

GREENHOUSES/SCREENED PORCHES - Greenhouses/Screened Porches require approval. Greenhouses will be reviewed as room additions, with special attention given to visibility of interior activities.

Location - Greenhouses and screened porches shall be located on the rear of the house or lot.

Size and Scale - Greenhouses and screened porches should be appropriate to the scale of the home as sited on the lot. They must meet Prince William County minimum setback requirements and should not be constructed across Building Restriction Lines (BRL) as shown on individual plats or site plans.

Material and Color - Greenhouses shall be a glass enclosure. Screened porches should match the existing house in materials and color. Screened porches shall be constructed with black or dark bronze screen color. The use of a shed type roof is prohibited. In all cases, the screened porch roof must be shingled to match the existing house.

GREENHOUSE WINDOWS - Greenhouse Windows require approval. Greenhouse windows may be installed on the rear area of a home so long as the color and materials in the window match those in the existing house.

GUTTERS - Gutters require approval. As part of new construction by a homeowner, gutters must match or complement the existing trim color or area of the home to which they are attached. Extensions of downspouts at ground level are discouraged because of drainage considerations on adjoining properties and open spaces. All downspout extensions must be buried in such a manner to adequately manage runoff, according to correct engineering practices and local codes.

HEATING - All outdoor heating devices, such as chimneys, require approval and will be considered on a case-by-case basis. Construction design, scale and materials should complement the existing house and lot.

HOT TUBS/SPAS - Hot tubs/Spas require approval. Exterior hot tubs or spas must be located in the rear yard adjacent to the dwelling unit. The incorporation of hot tubs as an architectural feature of decks and/or patios is encouraged. The exterior finish of an elevated hot tub should blend with the exterior finish of the home, deck or patio to which attached or most closely related. *Landscaping or other proper screening will be required.*

HOUSE NUMBERS - House numbers require approval. House numbers should be legible, and be of a size and color appropriate for the applicant's house.

LANDSCAPING/VEGETABLE GARDENS - Landscaping/Vegetable Gardens require approval.

An application is required when plant materials are planted as hedges, fences, barriers, or screens, or which meet or exceed [either at installation or at maturity] 24" in height. An application is also required when the use of landscape timbers or stone is contemplated. The tops of such retaining or decorative walls must be level and step down to accommodate grade changes. Retaining or decorative walls must not adversely impact drainage and may require landscaping to soften the visual impact.

Sand, rocks, bricks, timber, mulch and similar materials may be used minimally as design elements but should not dominate the landscape design. Monolithic paving or covering front or side yards or portions thereof with gravel, stones, pebbles as the principle design element will not be permitted.

Mulch – shall be brown, black or red in color and is limited to flower beds and the surrounding base of all trees on the property. Mulch needs to be maintained throughout the year. Adding or replacing mulch to existing areas is recommended once to twice a year (in spring and fall). Mulch should be maintained at a depth of a minimum of 1" and should be free of weeds and debris.

Decorative Rocks/Stone - Decorative rocks or decorative stones will be considered if they are used minimally in the design element of the overall landscaping scheme. Decorative rocks/stone is limited to a river rock variety consisting of natural colors (brown, white, beige, etc.) and cannot exceed 1" in diameter. Decorative rocks/stones are not permitted to replace turf or grassy locations or used as the principle design element when creating a landscape design. Gravel rock or construction gravel will not be permitted.

Location -- Care should be exercised in the planting and maintenance of trees and shrubs to prevent obstruction of sight lines required for vehicular and pedestrian traffic, as well as to preserve views of open space areas. Hence, shade and branch patterns of larger trees should be carefully considered. Landscaping may not be installed on Association open space. Trees and shrubs must be planted to ensure when they reach maturity the plants do not infringe on adjacent properties. As an example, if a mature tree species will grow to 20 feet diameter, the tree must be planted not less than 10 feet from the property line.

Scale -- Care must be exercised in selecting plant materials, which, upon maturity, will be an appropriate size in height and breadth for the intended location. Mature size, in height and diameter, should always be considered especially when planting close to walkways and houses. Consideration will be given to the effect plantings will have on views from neighboring lots.

Trees should be clustered rather than widely spread. A three-dimensional appearance of planting is improved by augmenting trees and taller shrubs with low spreading shrubs and/or ground cover.

Vegetable Gardens - Such gardens shall be neatly maintained throughout the growing season; including removal of all unused stakes, trellises, weeds and dead growth.

Location -- All such gardens must be confined to the rear of the property, out of view of adjacent and nearby streets. The view of adjacent and nearby residents must be considered when planning a garden. Gardens may not be installed on Association open space.

Runoff -- Gardens should not be planted on a grade exceeding a ratio of 5' to 100'; runoff patterns should be considered prior to installation and care must be taken to prevent damage

to property below it through the flow of water onto lower property, including common area.

Size - Vegetable gardens should not exceed 120 square feet (10' x 12' area).

LAWN FURNITURE - Lawn furniture does not require approval. The use of interior furniture, particularly overstuffed furniture, on patios, decks, porches and in yards is prohibited. Furniture left outdoors must be kept in good repair. Outdoor furniture must be of a scale and style, which does not detract from the appearance of the area.

LIGHTING - All exterior lighting requires approval. Applications for exterior lighting should include wattage, height of light fixture above ground, and a complete description of the light fixture and its proposed location on the property.

Individual property light fixtures including post lights must match or be compatible with the fixtures originally installed by the builder. Exterior lighting (flood lighting, motion sensors, entrance lighting, etc.) shall not be directed outside the applicant's property. All rear yard security lighting should be provided with wall-mounted decorative fixtures (with or without motion detectors).

Light sources must be a "white" light or incandescent light. High-pressure sodium (yellow-orange) or any other color lights are prohibited. Seasonal colors are permitted, but must be removed within one month of the seasonal day.

Landscape lighting located along a walkway or among shrubbery will be considered so long as it does not detract from or overwhelm the overall lighting appearance of the home and property.

All lamp posts are required to be functional and working and adhere to the above requirements.

MAIL BOXES - Mailboxes require approval. Mailboxes are required to be maintained as installed by the Builder without modification. The mailbox style and color in The Villages of Piedmont was selected to create a unifying appearance in the community. For replacement and installation information, you should contact "Spacemaker" 11410 High Hay Drive Columbia, MD 21044.

PAINTING - Changes in material and/or color require approval. An application is not required for re-painting or re-staining a specific object to match its original color. Color changes apply not only to the house siding, but also to the doors, shutters, trim, roofing and other appurtenant structures. Change of exterior color for both single-family and town homes should relate to and complement the colors of the houses in the immediate area. Single-facade town homes must be painted the original builder-applied color, unless all owner's in a particular building agree on a change. That change must still complement the homes in the adjacent area.

PATIOS - Patios require approval. Patios should be designed to create an intimate residential scale with unit identity. Privacy screens may be used for creating privacy if consistent with the architectural style but must be approved prior to construction. Patios and wing walls should be an integral part of the design and should not appear as separate or add-on elements. Patios provide a means for ground level extension of indoor space with less visual impact than elevated decks. Patios should be located in the rear yard and should be installed within

County setback required limits, and not across Building Restriction Lines (BRL). Depending on the topography, patio access can be provided from either the back door of the basement or no more than 5 steps down. Patio screening should not appear as a separate or added-on element but should be integrated with the architectural design. Patios may be constructed of wood, concrete, brick, landscape slate, flagstone, etc.

When patio design schemes include other exterior changes, such as fencing, lights, plantings, etc., other appropriate sections of the Design Standards should be consulted prior to application.

PORCHES - Porches require approval. Porches may be considered on case-by-case basis; however the structure must complement and be compatible with the existing house in style, scale and design. All materials and colors must match the existing house.

RECREATION AND PLAY EQUIPMENT - Permanent Recreation and play equipment, including but not limited to play houses, swings, climbing equipment requires approval. Temporary Recreation and Play equipment does not require approval. Creatively designed play equipment is encouraged. These standards are provided in an effort to reconcile the need for play equipment with the goal of minimizing its visual impact. Careful thought should be given to location and kinds of equipment to be installed since neighborhood facilities will be of a larger scale and have greater usage. Play equipment must be made of wood with natural color tones to blend with the natural surroundings. Aluminum play sets are prohibited.

Location and Site - Permanent and temporary play equipment, including but not limited to play houses, swings, and climbing equipment must be placed in rear yards in such a location where it has a minimal impact on adjoining lots and is not visible from the adjacent or nearby street. Consideration will be given to lot size, equipment size and design, amount of visual screening proposed or required, etc.

Basketball backboards attached to homes or garages are not permitted. A basketball backboard may be located on a permanent pole in the driveway of a single-family home lot, which is 70' wide or wider. The equipment must be installed on the side of the driveway such that loose balls from missed shots fall into the yard of the applicant, rather than the yard owned by an adjacent neighbor. Consideration will be given to the configuration of the driveway and proximity of the equipment to the street. No play lines may be painted on the driveway. Basketball play is limited to daylight hours and street play is prohibited. **Portable basketball equipment is allowed and when in use should be located on the home owner's driveway. In no such cases will they be located in a street or townhouse court. When not in use portable basketball and play equipment should be stored in a manner where the equipment isn't visible from the street.**

Trampolines are prohibited within Villages of Piedmont.

Temporary/Portable Play Equipment, including plastic play houses, small sliding boards, and sand boxes, does not require an application, but should be used in the rear yard and stored out of sight when not in use for extended periods. Consideration must be given to the visual impact of adjacent and nearby residents when using such equipment.

ROOM ADDITIONS/GARAGES/SUNROOMS - Room Additions/Garages/Sunrooms require approval.

Room additions are considered to be those, which substantially alter the existing structure and become as an original fixture of the existing home.

Location - The location of major alterations should not impair views or the amount of sunlight and natural ventilation on adjacent properties. Room additions and garages must meet Prince William County setback requirements and may not be constructed across Building Restriction Lines (BRL). Depending upon lot sizes, detached garages will be considered on a case-by-case basis and generally will require a covered breezeway to the home.

Use - Model homes using a garage, as an office or showroom, etc., must be converted back to a garage for the parking of vehicles prior to occupancy by a purchaser. Garages may not be converted to living spaces.

Design and Materials - The design of room additions or garages should be the same or compatible in design, scale, materials and color with the applicant's house and adjacent houses. Roof pitches must match or be compatible with the roof slope on the applicant's existing house. Roofing materials must match that of the existing house; siding must match existing siding in color, material, size and style. Windows and doors must match those used in the existing house, and should be located in a manner which relates well to the location of exterior other windows and doors in the existing house.

If changes in grade or other conditions, which will affect drainage, are anticipated, they must be indicated. Generally, approval will be denied if adjoining properties are adversely affected by changes in drainage.

Colors - The colors of all such improvements must match the colors used on the existing house.

SECURITY DEVICES - Security Devices require approval. Any security equipment including cameras, fixtures and conduits shall be designed, located and installed so as to be an integral part of the architecture of the building and not detract from its design and appearance. Barred or ornate metal security doors or grilles are prohibited.

SIDEWALKS AND PATHWAYS - Sidewalks and Pathways require approval. The installation of sidewalks or pathways on a lot will be considered if they are appropriate for the intended use and are appropriate to the size and scale of the lot. Stone, concrete, slate, flagstone or brick pavers would be appropriate materials. Pathways or sidewalks must be set back from any VDOT rights of way and out of any easements.

STAIRS THAT COME OFF THE REAR ENTRANCE OF A HOUSE - Stairs are require to be painted or stained (*temporary or permanent*), **No Untreated Stairs are Acceptable**
Stairs, as well as tread and riser dimensions must meet Prince William County building codes
Permanent Stairs will be the same material and color of the deck. Stairs will not extend past the side plane of the deck.

The approved white paint for Stairs is as follows:

Olympic Solid Color Stains P/N Outside White

Sherwin Williams DeckScapes premium deck finishing P/N SW7005 Pure White,

Behr Premium Wood Coatings P/N 5011/211 White.

Paint products may be purchased at Lowes, Homes Depot, and Sherman Williams

Please reference the Deck Diagram for location of items that require treatment on page 12.

Items that require to be painted or stained are listed below:

Wood Balusters/Spindles

Top Rail

Bottom Rail

Support Post

Rail Post

Stringer

Cap Rail

Items that do not require to be painted or stained to match the trim of the existing house:

Tread

Riser

When Wrought Iron or Aluminum Balusters/Spindles are used, they must be painted black or white. For consistency, must mirror approved fence styles.

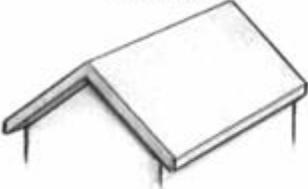
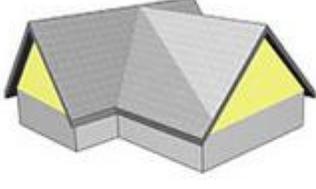
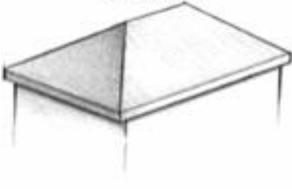
SIGNS - Signs do not require approval. No signs may be posted on any lots, other than one real estate sign listing a property For Sale, or a security sign posted within 10' to the immediate left or right of, and/or extending 2' forward of the front and rear entrance of a home. Signs, either temporary or permanent, advertising products or services, whether provided by the homeowner or others; announcing events; or signs denouncing another person, place, entity or thing; are prohibited. Only signs advertising a property for sale may be displayed in the front yard of the available property. Such signs must meet applicable County regulations with respect to size, content and removal. Additional placement of bandit and directional signs are prohibited in the community. During any HOA Board approved community event where signage is requested by the planning committee as part of the event, residents are allowed to display temporary signs specifically related to the event. Residents shall display signs on the day of the event only. Residents shall remove signs at the end of the event. If not removed, resident will be charged \$20 towards their account without notice. Residents shall mark all signage with their address.

SKYLIGHTS - Skylights require approval. Skylights may be mounted on a rear roof location, parallel with the roof plane. Bubble or elevated types of skylights are not permitted. The glass or surface material should be clear or dark tinted. White tinted material is not permitted.

SOLAR PANELS - Solar panels require approval and must meet all applicable federal, state and county regulations.

STORAGE SHEDS -Storage Sheds require approval. The structure and the location are considered on a case-by-case basis. Any storage shed has an aesthetic impact on neighboring lots. Sheds shall be maintained at all times to the same standards as those of the primary residence. Inconsiderately placed or poorly designed sheds can visually and functionally negate an otherwise desirable residential area. Therefore, it is important to note in choosing and locating a shed that there are needs other than storage which must be considered.

1. Must be located in the rear of the yard, behind the rear-most point of the main dwelling and not interfere with property drainage.
2. No pre-fabricated, metal sheds, Quaker or barn type shed will be permitted.
3. Design: the architectural design of the shed should be compatible with the design of the home
4. Materials: the finished materials must be identical to those for the home.
5. Color: The color scheme must be the same as for the home.
6. Doors: No roll up doors.
7. Only one shed per lot.
8. The shed cannot be used as a living space (for humans and/or animals)
9. Prince William County zoning approval is required for all sheds. Complete county code, process and permit information can be found here:
<http://www.pwcgov.org/government/dept/development/bd/pages/shed.aspx>

<p style="text-align: center;">Gable Roof</p> 		<p style="text-align: center;">Hip Roof</p> 
<p>Figure 1a: A two gabled structure, although only one can be seen.</p>	<p>Figure 1b: A three gabled structure, although only two are seen.</p>	<p>Figure 1c: A hip-style has a pitched roof from corners in place of gables.</p>

Shed Design Criteria for Townhomes

1. Location: In townhomes, sheds must be designed as an integral part of fencing; either solid or semi-transparent fence type is required. The architectural design of the shed must be compatible with the design of the fence, whether the fence is existing or to be built with the shed.
2. Size: The size should not exceed 36 square feet (e.g. 6' x 6'). The height of the shed for a Town home may not exceed the height of the fence to which it is an integral part.
3. Materials: The finished material of the shed should be the same as the finished material of the fence; except that roof shingles must match the existing house.
4. Roof: The pitch of the roof shall be designed to allow for drainage.

Shed Design Criteria for Single-Family Homes

The shed should be attached or designed to appear as part of the house (not to exceed 6 feet from house to shed) or may be part of a gazebo, deck or other outdoor improvement. The materials and color of the shed must match that of the improvement to which it is attached.

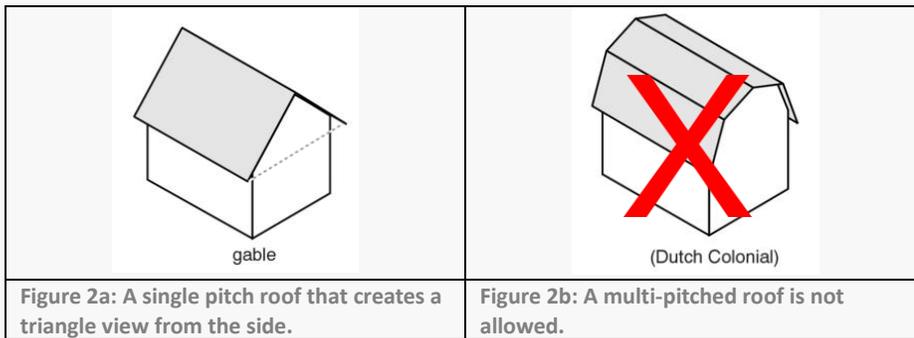
1. Location: Must be located in the rear of the yard, behind the rear-most point of the main dwelling and not interfere with property drainage. All sheds must comply with current county guidelines regarding property setbacks.
2. Size: The maximum size of a shed is 120 square feet (e.g. 10' x 12'). The maximum height of the shed is 8 feet. The height of a shed is measured from the floor to the highest point of the roof.
3. Materials: The architectural design of the shed should be compatible with the design of the house, i.e. same materials, same color scheme, same detailing.

4. Roof:
 - a. Shed roof styles must match the roof styles of the Single Family Homes in Villages of Piedmont. Homes have either gable or hip-roof styles. (see figure 1)
 - b. Sheds are only allowed to have a single roof pitch/angle creating a 3-point triangle between the peak of the roof and the two bottom ends. (see figure 2)

Shed Design Criteria for Single-Family Homes with lot sizes greater than ½ acre

The following standards apply only to lots that meet the following conditions: The lot is **greater than** ½ acre AND the lot must abut Leopold’s nature preserve.

- A. Location: Must be located in the rear of the yard, behind the rear-most point of the main dwelling and not interfere with property drainage. All sheds must comply with current county guidelines regarding property setbacks.
- B. Size: The maximum size of a shed is 120 square feet (e.g. 10’ x 12’). The height of a shed is measured from the floor to the highest point of the roof. The maximum height of the shed is 8’.
- C. Materials: The architectural design of the shed should be compatible with the design of the house, i.e. same materials, same color scheme, same detailing.
- D. Roof:
 - a. Shed roof styles must match the roof styles of the Single Family Homes in Villages of Piedmont. Homes have either gable or hip-roof styles. (see figure 1)
 - b. Sheds are only allowed to have a single roof pitch/angle creating a 3-point triangle between the peak of the roof and the two bottom ends. (see figure 2)
- E. Landscaping:
 - a. Landscaping must be used around the shed to soften the visual impact to neighboring properties.
 - b. Sheds not located within a wooded area must include a landscape screening plan.
 - c. Landscaping and associated screening shall be maintained at all times to the same standards as those of the primary residence.
 - d.



STORM WINDOWS - Storm Windows require approval. Exterior storm windows may be considered where the style of the windows and frames match the style and color of the existing window. White colored frames may be acceptable in certain specific cases.

SUN CONTROL DEVICES - Sun Control Devices require approval. The manner in which sun control is implemented can have a significant affect on the exterior appearance of a house and the desirable-benefits of sun exposure in the winter, fall and spring. Materials are available for application on inside of windows to reduce thermal transmission and glare; however no shiny surfaces may be visible to the exterior of the home. These materials may provide effective and economical alternatives to awnings and trellises. Effective sun control

can often be provided by such simple measures as planting deciduous trees to shade windows from undesired sun exposure.

1. Sun control devices should be compatible with the design character of the house in terms of style, color and materials.
2. Awnings should be solid in color, which are compatible with the color scheme of the house. Stripes or patterns are not permitted.
(See Awnings)
3. Awnings and trellises should be consistent with the visual scale of the houses to which they are attached. (See Awnings)

Location - The location of any awning or trellis may not adversely affect views, light, winter sun or natural ventilation of adjacent properties. Awnings or trellises must be located in the rear yard and incorporated into a deck or patio design.

Material and Color - Solid earth tone colors are permitted. Trellis work should match the trim or dominant color of the applicant's home, or be constructed of natural woods. Pipe frames and mechanical devices for awnings should be painted to match trim or dominant color of the house. If awnings are removed for winter storage, frames should be secured or removed to the extent possible.

SWIMMING POOLS - Swimming Pools require approval. The Villages of Piedmont amenities are designed to provide swimming opportunities for all residents through association and community facilities. It is not anticipated that many of the lots in the Villages of Piedmont will be of a sufficient size to accommodate a swimming pool, however, when a swimming pool is desired, only in-ground swimming pools will be considered. Swimming pools must be located in the rear of the property and must meet all Prince William County building and health codes. Comment from surrounding and/or affected owners may be solicited by the Covenants Committee to determine if a swimming pool is appropriate for the neighborhood in which it is proposed.

Temporary summer wading pools may not exceed six (6) feet in diameter and/or one (1) foot in height and do not require an application, but must be used in the rear yard, emptied and removed from view on a daily basis.

SWIMMING POOL FENCING - Swimming Pool Fencing requires approval. When fencing *immediately* around a swimming pool and related pool equipment for safety, a non-climbable Classic style black wrought iron or aluminum fence is required. Fencing of this type must be simple in design with no excess ornamentation and must be a minimum of 4' in height and a maximum of 5' in height. Such fencing must meet Prince William County Pool Safety Codes, which are subject to change.

TRASH/RECYCLING CONTAINERS - Trash/Recycling Containers do not require approval. Trash cans and recycling containers must be stored out of view of the street or adjoining properties at all times, except on scheduled pickup days. Containers should be placed out at curbside very early in the morning on pick up days or after dark the evening before. Screened areas for trash and recycling container storage may be incorporated into a deck design.

TRASH AND RECYCLING RECEPTACLE ENCLOSURES (Single Family Homes Only)

1. Trash/recycle receptacle enclosures shall be a permanent structure abutting the home on the driveway side and no closer than 5 feet from the front edge of the house.
 - a. Enclosure must match the aesthetics of the house and may have a matching lid/top to protect the receptacles from the weather.
 - b. Enclosure shall utilize concrete footers or a concrete pad/base for the enclosure.
 - c. Enclosure shall be white or match the paint scheme of the home.
 - d. Enclosures are encouraged to be obscured from the street view from in front of the home with landscaping.
2. Enclosure shall hide trash/recycling receptacles from the street from all visible angles.
3. Enclosure shall not be used as a shed alternative or overflow trash/recycling holding areas.
4. Enclosures shall be removed if there are documented occurrences of the following:
 - a. Enclosures found being utilized for storage of items other than provided trash/recycling receptacles.
 - b. Enclosure utilized to store trash or recycling not in a provided trash/recycling receptacle.
5. Enclosures in the townhomes will not be permitted.

TREE REMOVAL - Tree Removal requires approval. No live deciduous or evergreen tree with a trunk four inches or more in diameter, and no live ornamental or flowering tree with a trunk two inches or more in diameter as measured approximately two feet above ground, may be removed without specific approval from the covenants committee and notification to the County unless there is imminent danger to people or property.

WATER GARDENS - Water gardens require approval. Location of such a feature should be in the rear yard; however the location and installation of such the applicant should seriously consider an improvement so that the safety of household members and neighbors are considered.

STORAGE OF BOATS, TRAILERS, CAMPERS, MOBILE HOMES OR RECREATIONAL VEHICLES

No recreational vehicle may be parked or stored in open view of residential property, residential streets or open space, or any common area. Further, the Board of Directors has defined "recreational vehicle" as follows:

1. Any boat or boat trailer, canoe, jon-boat, paddle boat, jet skis, sailboats, catamarans, rafts or inflatables and the like.
2. Any motor home or other self-contained camper.
3. Any camper slip-ons where the camper backs are 12 inches or higher than the roofline of the cab of the truck.
4. Any mobile home, trailer, fifth-wheel trailer or horse trailer.
5. Any pop-up camper/tent, trailer or other similar recreation oriented portable or transportable facility or conveyance.

6. Any other vehicle not defined above which could not normally or regularly be used for daily transportation, including dune buggies or non-operative automobile collections or other automotive equipment not licensed for use on the highways of Virginia.

The following vehicles shall be treated in the same manner as recreational vehicles:

1. Any vehicle or trailer that is included in a State Code or County Ordinance as being defined as commercial, except that a normal passenger vehicle used for commercial purposes but not modified for commercial purposes may be permitted on a case-by case basis. (For example, passenger vehicles, a pick up truck not exceeding 1/2 ton, or a passenger van - used also for commercial purposes and having the name of the business written on the front doors in an area not exceeding 2.25 square feet may be permitted. Any vehicle described above having exterior equipment/ladder racks, compartments, fixed boxes or the like will not be permitted.)
2. Any private or public school or church bus.

Motorized vehicles, other than Association owned and operated vehicles, are not permitted on the trails and common areas within the community.

Motorized watercraft is not permitted on the waterways of the community.

A temporary RV Parking Waiver may be obtained from the Property Management office for any of the aforementioned vehicles described and enumerated under bullet points #1-5 as long as resident adheres to specific guidelines.

1. A waiver may only be granted for the resident to load & unload for a trip/vacation or winterization.
2. A waiver may only be granted for a period of time not to exceed an accumulated 48 hours.
3. A waiver may only be granted if the beginning dates and times for the loading & unloading and winterizing are included on the waiver request.
4. A waiver may be granted as long as RV is parked in the residents' driveway of a single family home. An RV parked in a driveway cannot extend into the road, impede sidewalks or encroach on neighbor's property or common area.
5. A waiver granted for RV parking doesn't grant parking privileges in common areas or community parking areas.
6. If a waiver is granted, the RV will not be used for temporary housing or any other purpose not included in these guidelines during the waiver period.

LOT MAINTENANCE STANDARDS

Property ownership includes the responsibility for maintenance of the lot and all improvements constructed as part of the property. This includes, but is not limited to, items such as mowing grass, removal of trash and structural maintenance. Maintenance affects the visual character and economic values of the property and neighborhood and, in some cases, safety.

Exterior Appearance --Residents are responsible for maintaining the exterior of their dwellings and any other structures on their lots, such as decks, fences, sheds and playground type of equipment. The following represent some (but not all) of the conditions, which the Covenants Committee considers a violation:

1. Peeling paint.
2. Cracked or broken siding.
3. Recreation equipment which is either broken or in need of repainting.
4. Guttering in need of painting, repair or replacement.
5. Fences with broken or missing parts or which are leaning.
6. Sheds with broken doors or in need of painting or repair.
7. Decks in need of repair or re-staining.
8. Concrete or masonry block foundations and/or parry walls in need of repainting.
9. Fences and Decks – Fences and decks should be power washed when mold, algae, or discoloration occurs and is recommended a minimum of once every two years. Fences and decks and should be free of rotten wood, mold, algae or discoloration. When mold, algae, or discoloration occurs the recommended procedure is to power wash and re-stain or paint in accordance of these guidelines.
10. Plant Beds – Gardens and plant beds must be kept in a neat and orderly manner, free of significant weeds and debris. Mulch needs to be maintained throughout the year and adding mulch to existing areas is recommended once to twice a year (Spring and Fall). Flower beds are to be free of weeds and debris year round. Approved decorative rock/stone are to be maintained free and clear of weeds and debris. If any washout has occurred, replacement decorative rock/stone is required so that no underlying soil is visible.

Most residents would not allow any of the above conditions to exist as they seek to preserve and protect the investment in their homes and to limit their personal liability by keeping all improvements on their lots in good condition. The Association expects that all residents will do this necessary maintenance to prevent any of the cited conditions from occurring in the Villages of Piedmont.

LOT MAINTENANCE

Mowing - Turf areas should be mowed at regular intervals, maintaining a maximum height of 4", and a minimum height of 2¹/₂".

Planting Beds - Gardens and planting beds must be kept in a neat and orderly manner; free of significant weeds and debris.

Tree Maintenance - Trees should be kept pruned so that dead or dangerous limbs do not cause damage to property or injury to persons should they fall. Suckers and low hanging branches should be removed regularly.

Lawn Watering - Water is recommended during extended dry periods, typically once a week if there has been no significant rainfall. For trees, water, flowing from a hose at a slow to medium rate, should be applied to a tree mulch ring for about 30 minutes at a time, about once per week. This should wet the soil to a depth of between 4" and 6". This usually requires the equivalent of 2" to 1" of rainfall. Consult your nursery professional.

Lawn and Garden Fertilization - All soil should be tested before fertilizer is added, especially in areas where drainage will flow into waterways and ponds. Special care should be taken not to over-fertilize or to fertilize lawns and gardens when there is the least chance of run-off. Soil test kits are typically available free of charge from the County libraries or County Extension office.

Trash Removal - Each lot owner is responsible for keeping all trash secured in containers designed for such trash storage. Trash containers must be stored in garages or otherwise out of view of adjoining lots, common area, and adjacent and nearby streets. Trash may be placed out for pick up after dusk the evening prior to a scheduled pick up or early in the morning of scheduled pick up. Emptied trash containers should be removed from public view as soon as possible after pick up and in no case should they remain in public view after dusk the evening of a scheduled pick up.

Each resident is responsible for picking up litter on his own lot and preventing wind-blown debris from originating on his lot.

At no time is the Association open space to be used as a dumping ground for any debris. Organic debris such as leaves, grass clippings and branches may not be dumped on open space. These materials take many years to decompose and do not create good habitat for wildlife. Yard waste is required to be recycled according to County specifications.

Removal of accumulated trash and debris from Association common areas will be completed as necessary. Removal of trash and debris costs the Association dollars and voluntary resident and neighborhood clean up, in addition to controlling the litter at the source saves Association resources.

Pesticides and Herbicides - Pesticides and herbicides may be applied according to label instructions for a specified problem. Emphasis should be placed on organic/biodegradable materials in order to ensure the least harm to the natural environment. Care in application is extremely important along ponds and waterways, near neighborhood play areas and tot lots, and near adjacent residences. Avoid the use of pesticides and herbicides if at all possible, but when necessary, use with caution and follow manufacturer's instructions.

Snow Removal - Residents are required to clear snow and ice from their own driveways and from the sidewalks in front of or adjacent to their homes. Sand should be used as an abrasive when necessary. *The use of any rock salt or any other deicing salts or chlorides, which cause deterioration to concrete, brick or mortar surfaces, is prohibited.*

Application for Exterior Modification
The Villages of Piedmont Homeowners Association

Name: _____ Phone (W): _____

Email: _____ Phone (H): _____

Property Address: _____

Section: _____ Lot: _____ Builder: _____

Proposed Improvement: _____

Style: _____ Color: _____ Dimensions: _____

Materials: _____ Location: _____

CONSTRUCTION SCHEDULE - Applications must contain the proposed construction schedule indicating both a commencement and completion date. All alterations or improvements must be commenced within 6 months and completed within 12 months of the approval

Commenced Date: _____

Completion Date: _____

Application Information As Required By the Villages of Piedmont HOA
Designed and Maintenance Standards
Revised and Adopted, April 2013

The below information is required to assist the Covenants Committee in reviewing plans for your proposed alteration or improvement. Without this information will delay your Application until all information is provided.

DESCRIPTION -- The application form requires a complete description of the alteration or improvement. This includes a complete listing of materials to be used; overall dimensions -- height, length, width, height above ground level, etc.; colors of the existing house, trim and roof colors; and colors of the proposed alteration or improvement

SITE PLAN/PLAT -- A site plan is a scaled drawing of your lot (plat) showing dimensions of the property, adjacent properties if applicable, and all existing improvements on your lot. You must draw your proposed improvement of this plat and provide it with your application. Contour lines may be

required where drainage is a consideration and more complex applications may require larger scale (10 to 20 feet to the inch scale) engagements of the site plan of County approved development or site plans.

DRAWINGS/PHOTOGRAPHS -- Complete scaled drawings showing all dimensions, elevations and details of the proposed improvement or alteration are required. Drawings should show the relation of the improvement or alteration to the existing home. Drawings, which are unclear, slow the process, and may be returned to the applicant for clarification. Photographs, catalogue clippings or manufacturer's "cut sheets" are acceptable for items such as lighting fixtures, storm doors, and other standard items.

Decks must be finished as stated below

MATERIAL AND COLOR -- Deck materials shall be approved Prince William County building materials (wood, composite, or wood composite). Untreated decks are not acceptable. All railings, wooden railings, exterior band boards, handrails, stairs that come off the back of the house temporary or permanent and railing posts are required to be painted or stained to match the trim of the existing house or stained with a wood color or clear coat stain. Support posts must match the color or stain of the deck. Trellis or lattice above or below decks need to follow the color requirements of the deck. Walking surfaces of the deck may be left natural pressure treated wood if desired. Decks will be painted or stained within three (3) months of completion of the deck (weather permitting).

Which Color will you be using: _____?

SIGNATURES -- The applicant is required to sign the application form. In addition, the signatures of all adjoining or affected property owners are required on all applications. The signatures do not constitute approval or disapproval of the proposed project; rather they indicate that the adjoining property owners are aware that sol alteration or improvement is contemplated. Applications received without signatures will not be reviewed.

**Signatures of Affected Neighbors (those adjacent to your lot on all sides)
if you have a concern or question please contact the Covenants Committee by emailing us at
vop-covenants@googlegroups.com**

Printed Name	Signature	Lot #
Printed Name	Signature	Lot #
Printed Name	Signature	Lot #
Printed Name	Signature	Lot #

I hereby certify that the information I have provided is accurate to the best of my knowledge. I further certify that, once approved, I shall construct the proposed improvement according to the approved plans, schedule, and specifications. Permission is hereby granted to members of The Villages of Piedmont Homeowners Association Covenants Committee, and its representatives, to enter on my

property as necessary to review the proposed project.

Owner Signature: _____ Date: _____

Mailing Address: _____
(If different from Property Address)

**THE VILLAGES OF PIEDMONT HOMEOWNERS ASSOCIATION, INC.
RESPONSE TO DESIGN REVIEW APPLICATION**

Date Action Taken: _____

Application Approved

Application Disapproved Additional

Information Requested

Date Reconsidered: _____

Application Approved

Application Disapproved

Stipulations and Conditions:

1. All exterior modifications must meet the requirements of the Prince William County Zoning/Building codes.
2. All exterior modifications must meet Prince William County minimum setback specifications and may not be constructed across Building Restriction Lines (BRL) shown on individual site plans (plats).
3. All exterior modifications must meet the requirements of The Villages of Piedmont Homeowners Association Design and Maintenance Standards.
4. The proposed improvement must be constructed according to the approved plans, schedule, and specifications.

Signature of Covenants Committee Member

Date

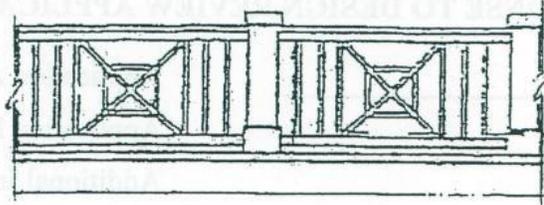
Printed Name of Covenants Committee Member

improvement according to the approved plans, schedule, and specifications. Permission is hereby granted to members of The Villages of Piedmont Homeowners Association Governance Committee, and its representatives, to enter on my property as necessary to inspect proposed project.

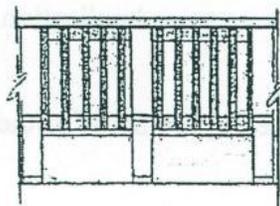
EXHIBIT A

Owner Signature: _____
Date: _____
Address: _____
Mailing: _____
(If different from Property Address)

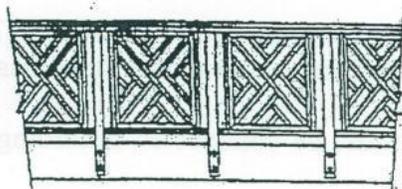
THE VILLAGES OF PIEDMONT HOMEOWNERS ASSOCIATION, INC.
RESPONSE TO DESIGN REVIEW APPLICATION



WINDOWPANE



TRADITIONAL



CHIPPENDALE